

ZONE RULES:
 -50% Max site coverage (over gutter)
 -1m internal boundary setback to building (to gutter)
 -1m internal boundary setback to garage under 7m long (to gutter)
 -1.5m road boundary setback
 -20% glazing to street
 -4x4m outlook space from main living room
 -20m² outdoor living with a min 3m dimension
 -11m max building height
 -min 20% of developed site with grass or plants
 -The area between road boundary and the building excluding parts used for vehicle or pedestrian access shall be (a. landscaped with a mix of lawn, garden beds or shrubs and b. provide one specimen tree for every 10m of frontage

Client Information
 Roger & Glenys Gardner
 12 Hollard Crescent, Te Whariki, Lincoln

Lot 4146, DP563101
 Subdivision: Te Whariki

Site Information
 Site Area 590m²
 Ground Floor Area (over framing) 201.29m²
 Ground Floor Area (over cladding) 207.69m²
 Living Covered Area 1.94m²
 Total Coverage Area 229.93m²

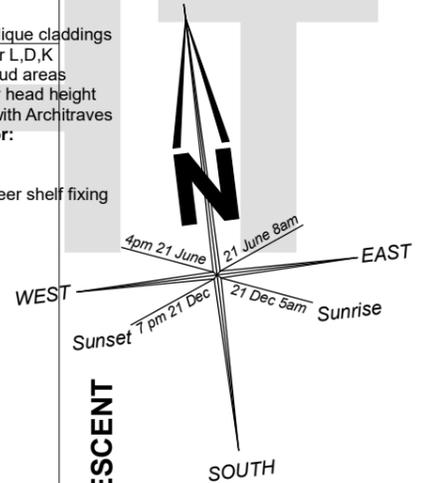
Site Coverage 38.97%

Selwyn Council Information
 Zone = MRZ
 Ground Floor Area (over gutter) 229.93m²

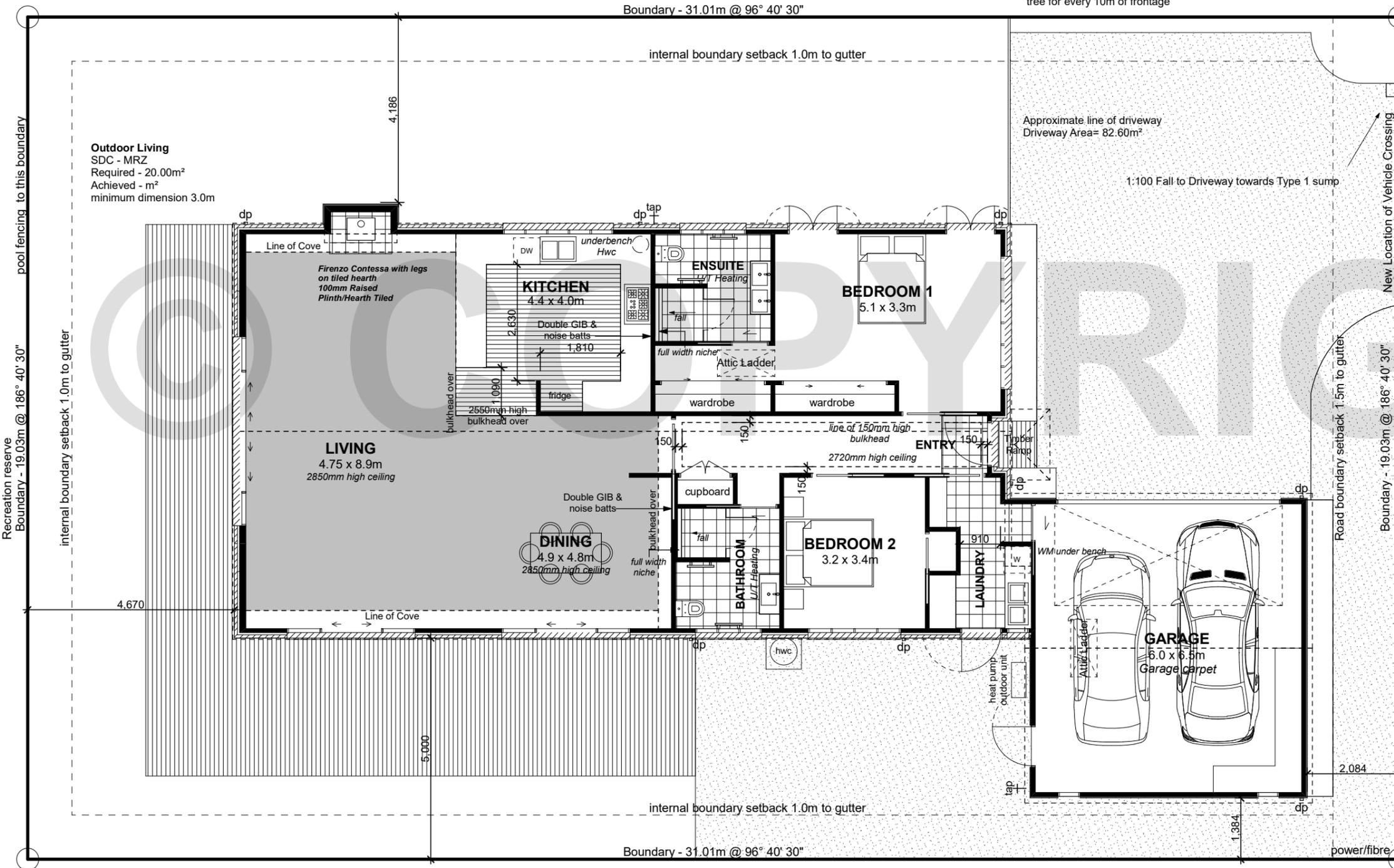
Site Coverage 38.97%

General Notes
 Living Zone MRZ
 Technical Category 2
 Wind Zone - High
 LLUR - TBC
 Stormwater Lateral
 Sewer Lateral
 Zone C Foundation Tbc
 Resource Consent Required
 -Landscaping to street

General Notes
 Brick & James hardie Oblique claddings
 GIB Ceiling diaphragm for L,D,K
 2.55m ceiling with high stud areas
 2.4m to living sliding door head height
 2.20 high internal doors with Architraves
Engineering required for:
 -Entry Roof
 -Chimney fixing
 -Sliding Door Lintel +Veneer shelf fixing



No 12 HOLLARD CRESCENT



Finished floor levels to comply with district council minimum floor level requirements. Plans are **subject to change** once onsite levels can be verified. All boundaries and bearings are to be used as a guide only and plans are **subject to change** until final survey plan is obtained. **Subject to building consent approval.**



Roger & Glenys Gardner
 12 Hollard Crescent, Te Whariki, Lincoln

LAYOUT

All work shall comply with NZS 3604:2011
 All windows and doors to comply with NZS 4211:2008
 Glazing to comply with NZS 4223:2016

Contractor must verify all dimensions on site prior to commencing any work.

REVISION	A			

consultant Tara C
 drawn S.Bright
 date 26/02/2026
 scale 1:100

SHEET NO
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 of 1

SITE INFO	
Site Area =	590m ²
Ground Floor Area (OF) =	201.29m ²
Ground Floor Area (OC) =	207.69m ²
Entry Covered Area =	1.94m ²
Total Coverage Area =	229.93m ²
Site Coverage =	38.97%

LEGEND	
Foulsewer Drain (100mm dia)	---
Stormwater Drain (100mm dia)	- - - -
Downpipe	o dp
Terminal Vent (80mm)	o tv
Air Admittance Valve	o aav
Gully Trap	□ GT
Rodding Point	○ RP
Inspection Point	○ IP
Exterior Tap	+ tap

All Plumbing and Drainage to comply with New Zealand Building Code and other approved documents sections G10, G12 and G13.

NOTE: All fixtures more than 3.5m from gully traps shall be fitted with air admittance valves

PIPE DIA AND GRADIENTS	
40mm Ø waste pipe @ 1:40 fall to all bathroom and ensuite fittings except WC's	
40mm Ø waste pipe @ 1:30 fall to laundry fittings	
50mm Ø waste pipe @ 1:40 fall to kitchen fittings	
WC's to have 100mm Ø waste @ 1:60 fall	

DOWNPIPE SIZE CALCULATION	
No of dp's =	8
Roof Plane Area Total =	215.28m ²
Roof Pitch =	35°
Area of Roof per dp =	26.91m ²

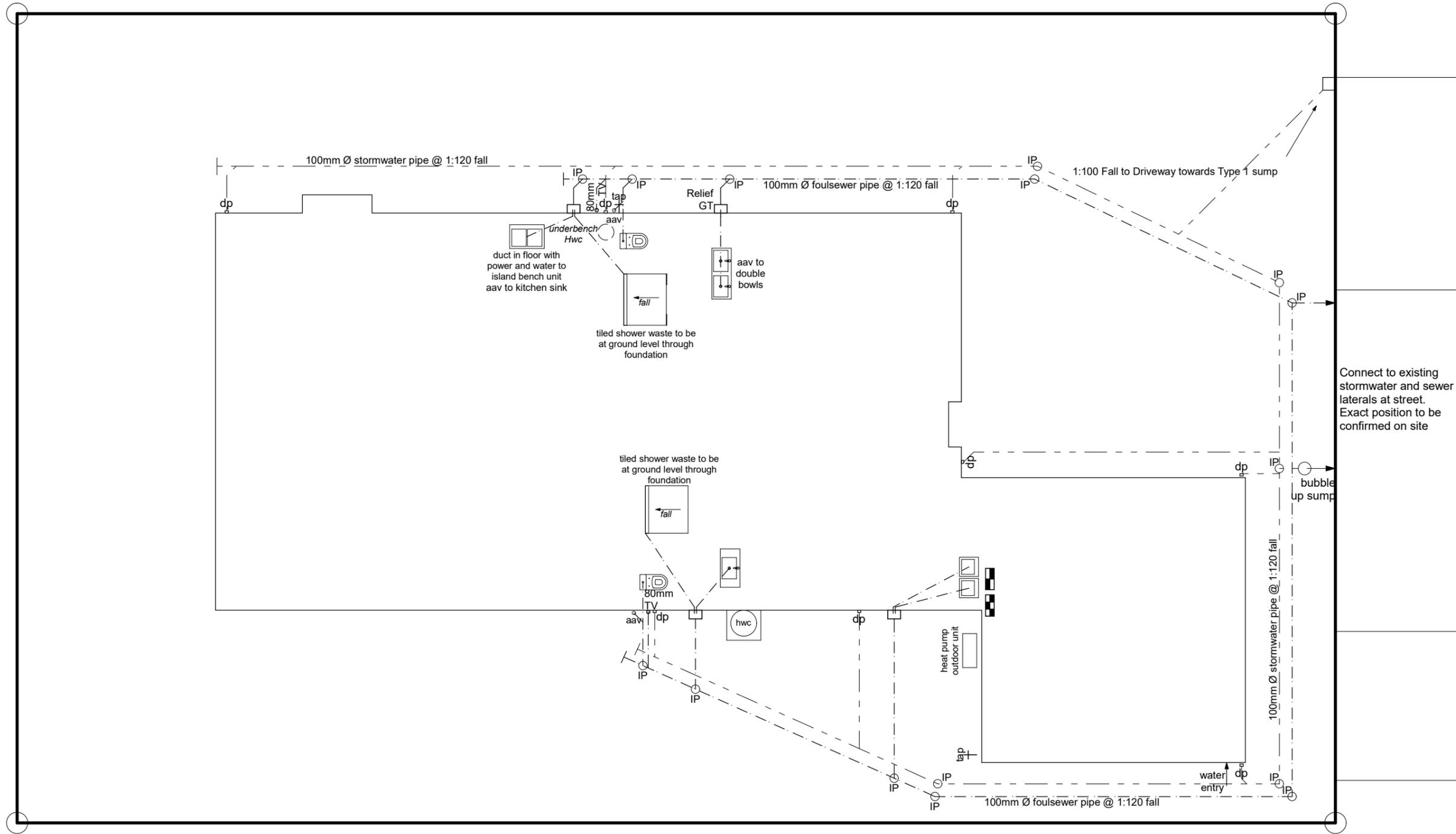
As per Table 5 of E1/AS1 Surface Water 75x55mm dp's are required to service this roof.

PIPES THROUGH SLAB	
All pipes through concrete slab/footings to be sleeved in accordance with G13/AS2 section 5.8	

WATERTIGHTNESS	
Plumber to test the water supply system to ensure watertightness. The hot and cold system must be subjected to a pressure of 1500kpa for a period of not less than 15 minutes, and the system is to be inspected to ensure there are no leaks	

All water supply systems to comply with G12/AS1 3.7

Final position of all drains, septic tanks, soak pits, effluent fields to be determined by Drainlayer on site



REVISION	NO	DESCRIPTION

consultant	Tara C
drawn	S.Bright
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scale	1:100

GROUND FLOOR AREA (over framing)	201.29m²
GROUND FLOOR AREA (over cladding)	207.69m²
ENTRY PORTICO AREA	1.94m²
TOTAL COVERAGE AREA	229.93m²

FRAMING TREATMENTS

In accordance with NZS 3602: 2003
All Timber to be Radiata Pine (RP)

Exterior Framing	H1.2 MSG 8 RP
Bottom Plate (90&140 x 45mm)	H1.2 MSG 8 RP
Interior Framing	H1.2 MSG 8 RP
Roof and Purlin Framing	H1.2 MSG 8 RP

Roofing	Colorsteel Longrun Roofing
Roof Pitch	35°
Eaves	150mm from timber framing 2" flat Butynol roof to Entry

EXTERIOR CLADDINGS

70 series brick veneer with 50mm cavity and James Hardie Oblique Weatherboards on cavity batten system to exterior walls where shown

ALUMINIUM JOINERY HEAD HEIGHTS

All windows and doors to 2250mm high, unless noted otherwise

THERMALLY BROKEN, ARGON FILLED, LOW-E DOUBLE GLAZING TO ALL WINDOWS AND DOORS INCLUDING GARAGE (R0.5)

Architrave system to all internal doors. Refer to Homeview for opening sizes. Return studs required to all openings

INSULATION

To all walls **INCLUDING** the garage.
Walls R2.8 fibreglass insulation batts
Ceiling 2xR3.6 fibreglass insulation batts
Coved Ceiling R3.2 Skillion fibreglass insulation batts

All internal doors 2200mm high throughout unless noted otherwise

1200mm Gib Fyreline behind hob

All downlights to be IC-F rated

Vinyl/Tiled wet area flooring to have a CoF = 0.4

HIGH WIND ZONE

High Wind Zone (90x45mm framing)
2.550m high ceiling - studs @ 400 crs
140x45mm Framing - studs @ 600 crs

1000 x 1210mm Tiled Shower to Ensuite and
1000 x 1120mm Tiled Shower Shower to Bathroom

Sellwood FT30 Premier Attic Ladder with 3x attic storage trusses to middle third of Attic Ladder ceiling (flooring area to be confirmed)

Interconnected wireless Smoke Detectors to be in accordance with F7 of the building code & C/AS1

Mechanical Ventilation - Securimax HYPER150 High Performance In-Duct Axial Fan - 320m³/hr 89 litres per second- Ducted through roof

LINTELS & BEAMS

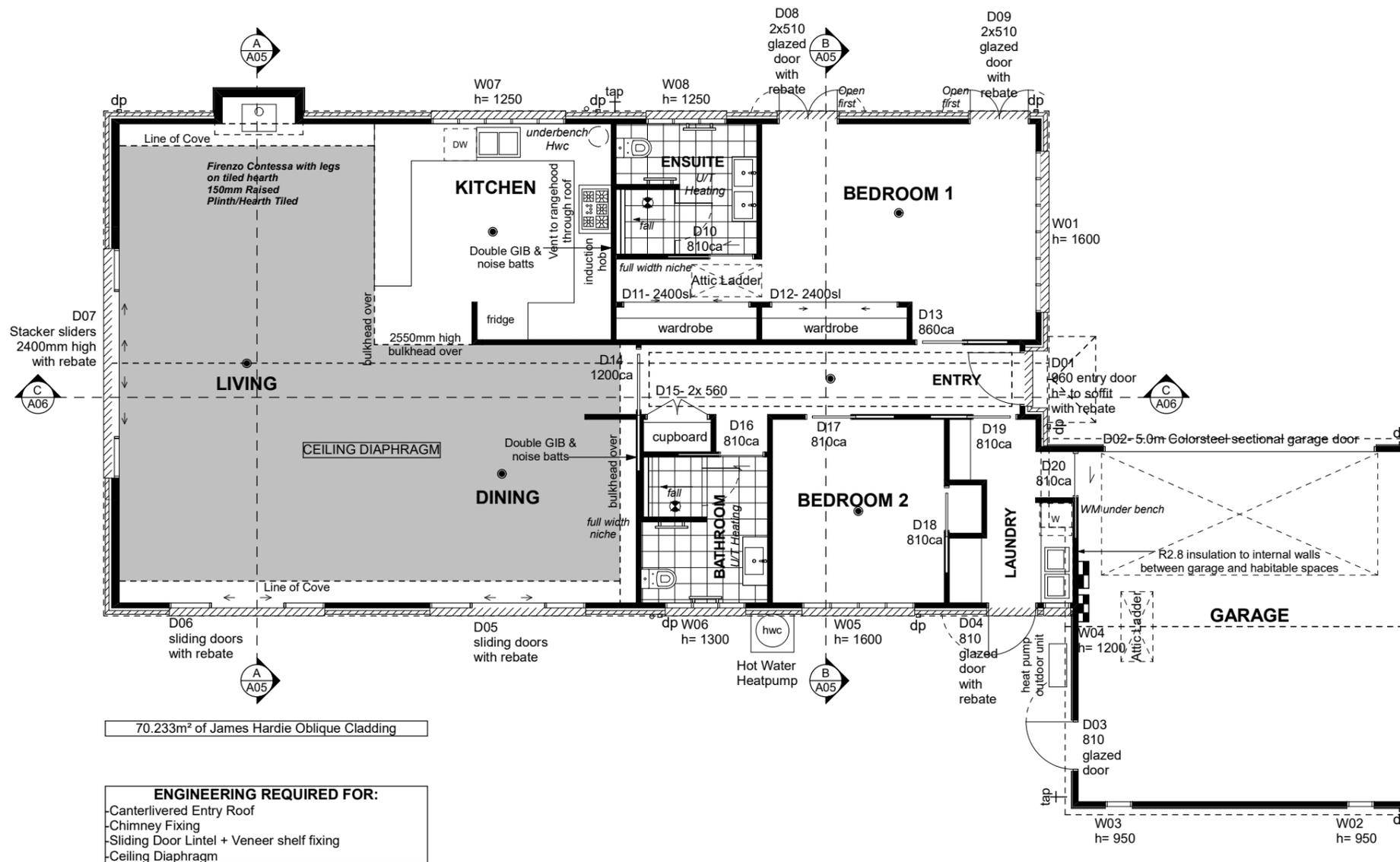
LINTEL & BEAM SIZES REFER TO TRUSS DESIGN
LINTEL FIXINGS REFER TO FIGURES 8.7 TO 8.13 OF NZS:3604

SHADED AREA INDICATES 2850mm HIGH LEVEL CEILING. ALL OTHER AREAS TO HAVE 2550mm HIGH LEVEL CEILING

HOT WATER SYSTEM ENERGY EFFICIENCY

Insulation to all hot water pipework within 1m of HWC and to complete hot water delivery run to kitchen sink. All other pipework outside thermal envelope of building to be insulated. HWC to comply with NZS4305.

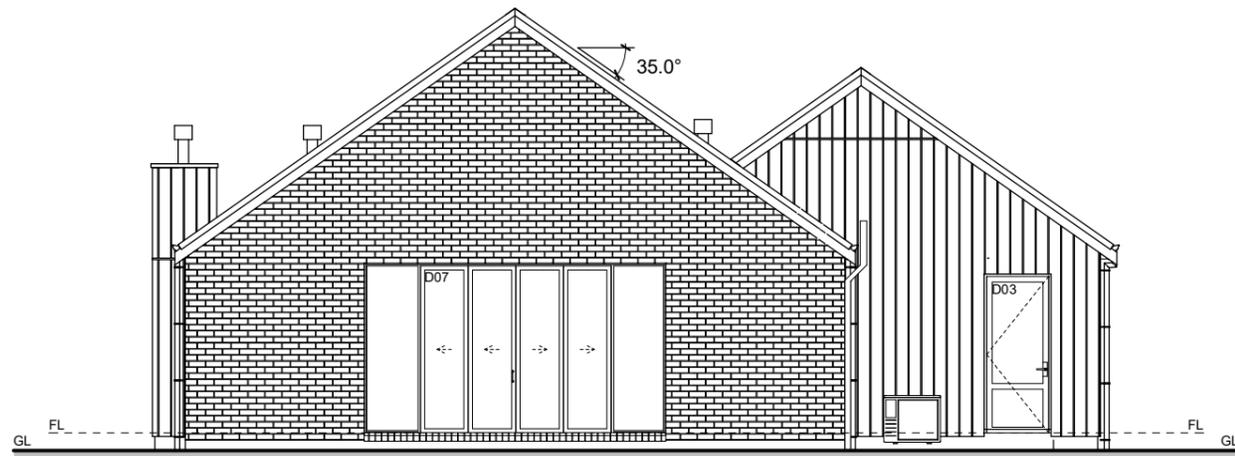
Dwangs to walls with vertical Linea Oblique cladding to be at 600mm max. ctrs



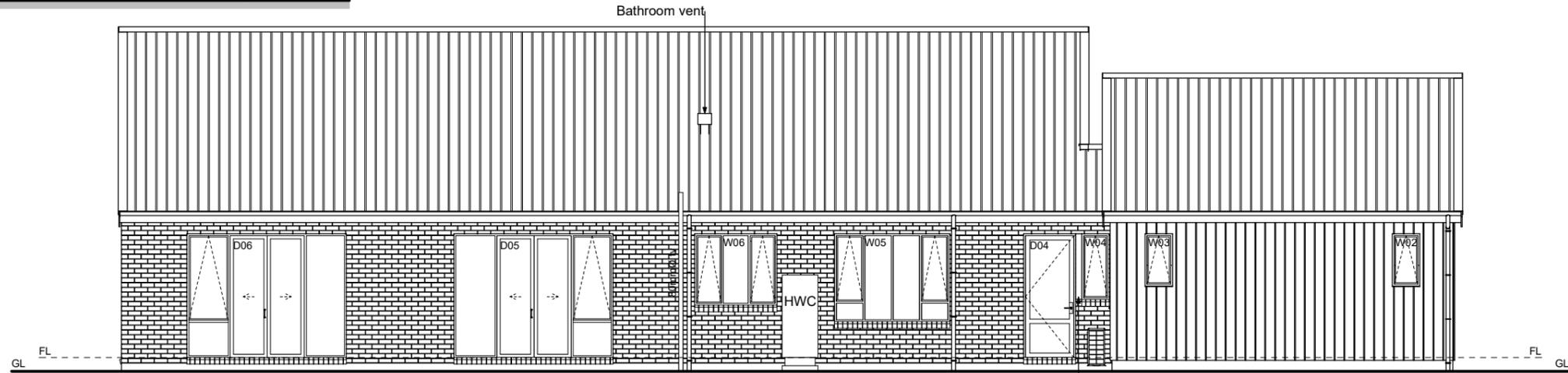
ENGINEERING REQUIRED FOR:
-Cantilevered Entry Roof
-Chimney Fixing
-Sliding Door Lintel + Veneer shelf fixing
-Ceiling Diaphragm

REVISION			

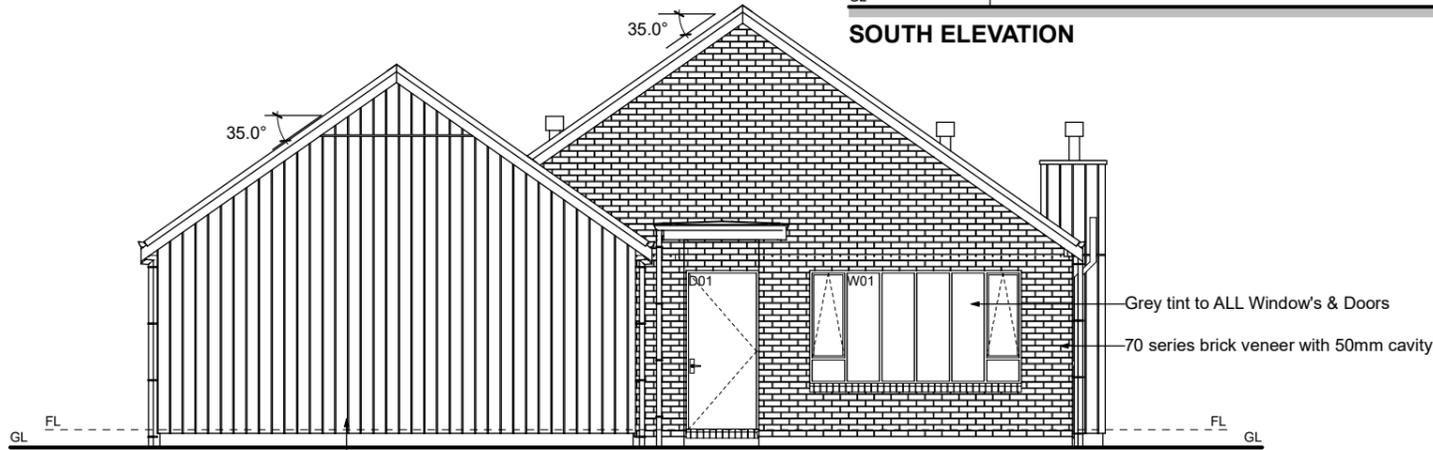
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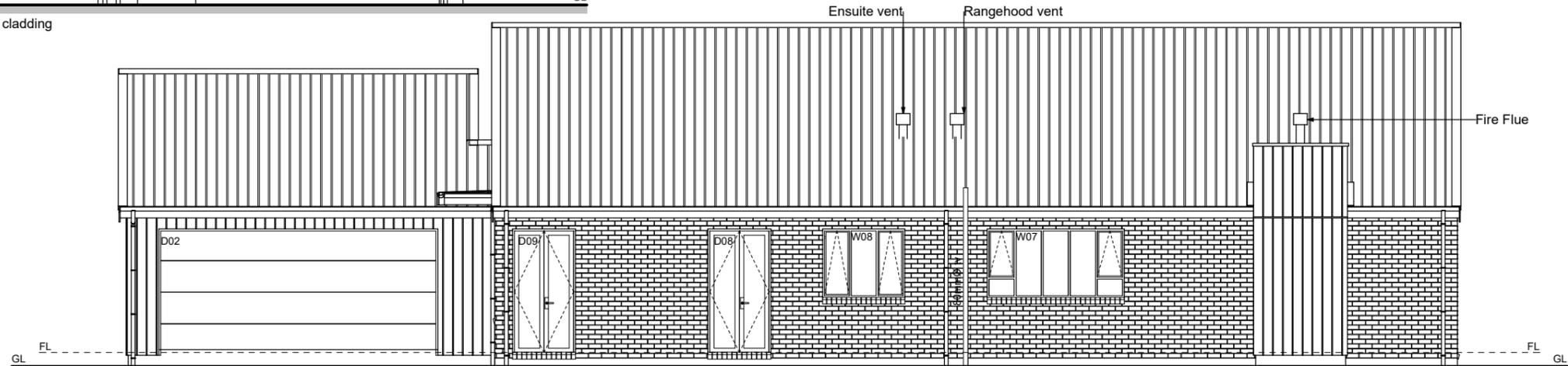
WEST ELEVATION



SOUTH ELEVATION

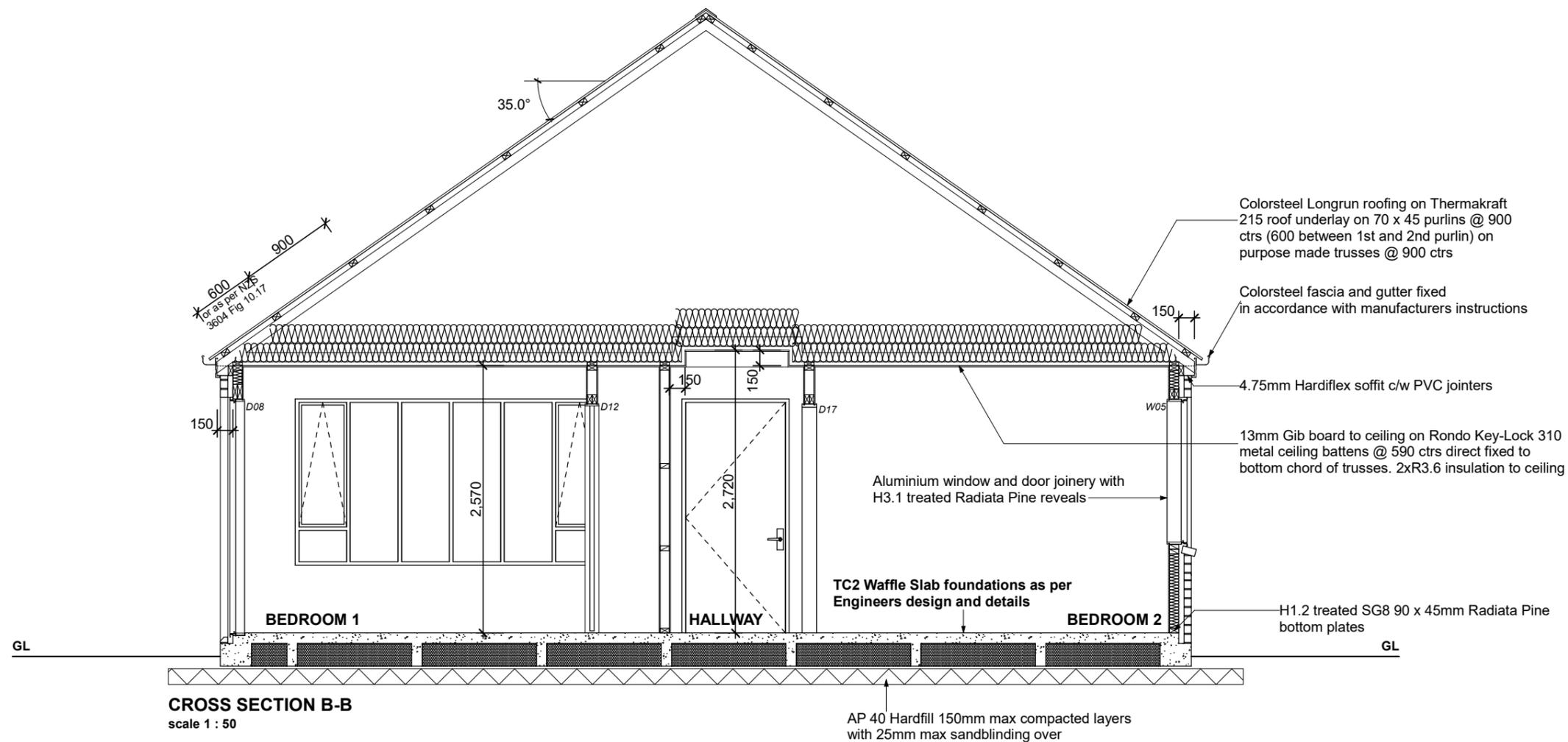
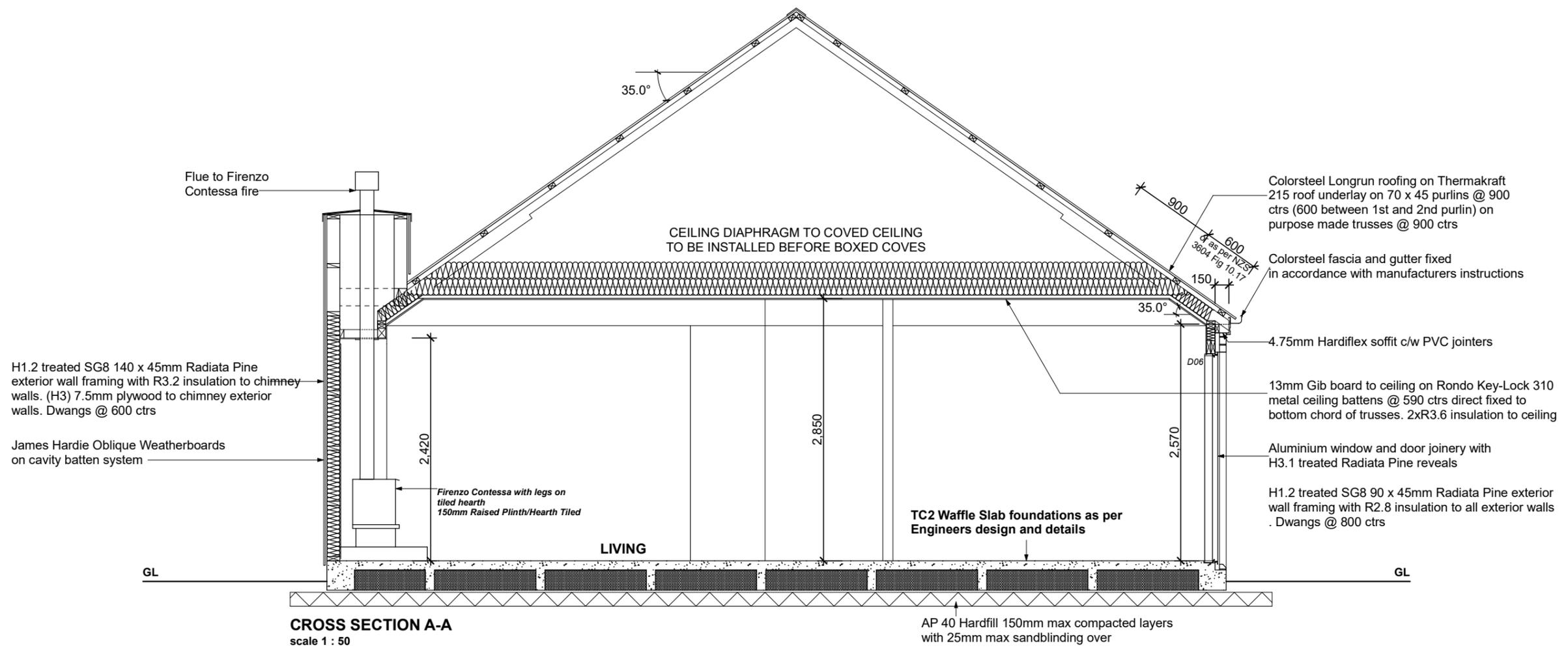


EAST ELEVATION



NORTH ELEVATION

NO	DESCRIPTION



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Glazing to comply with NZS 4223:2016
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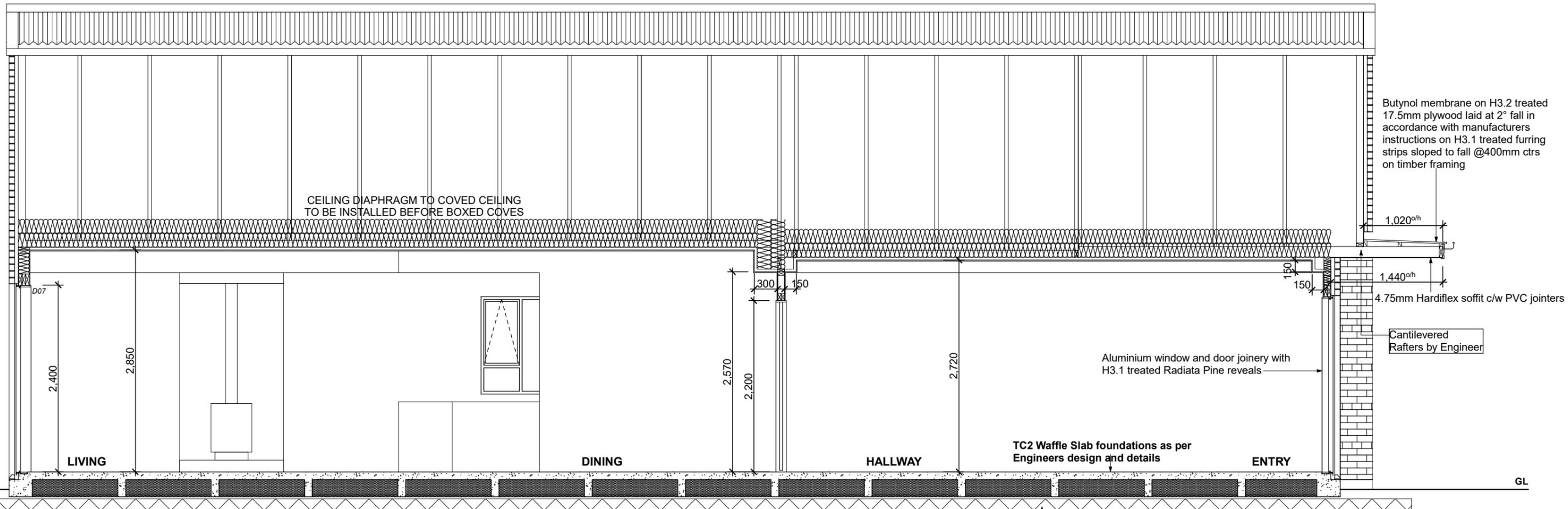
REVISION

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Roger & Glenys Gardner
12 Holland Crescent, Te Whariki, Lincoln

CROSS SECTION

SHEET NO
A05
of 6



CROSS SECTION C-C
scale 1 : 50

REVISION			

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