

GENERAL:

ALL DIMENSIONS, LEVELS, FALLS, HEIGHTS AND STRUCTURE ETC. TO BE CHECKED AND CONFIRMED IN SITE BEFORE COMMENCEMENTS OF WORKS.

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND ANY CONDITIONS ASSOCIATED WITH APPRAISALS.

AFFL = MEANING ABOVE FINISHED FLOOR LEVEL, NOT THE LEVEL AFTER FLOOR LEVEL, NOT THE LEVEL AFTER ANY FINISHES ARE INSTALLED, EG: CARPET, TILES ETC.

ALL CONSTRUCTION TO COMPLY WITH THE LATEST ACCEPTABLE VERSION OF NZS3604 AND NZBC.

ALL THE DRAWINGS AND SPECIFICATIONS ARE REQUIRED TO BE READ THROUGH ENTIRELY AND IN CONJUNCTION WITH ALL STRUCTURAL DRAWINGS AND SPECIFICATIONS BEFORE COMMENCING WORK.

CONTRACTOR TO VERIFY ALL DIMENSIONS WHEN SETTING OUT WORK TO DETERMINE RELATIONSHIP TO POSITIONS OF EACH LEVEL.

ANY DISCREPANCIES TO BE DISCUSSED WITH STUFKENS+CHAMBERS ARCHITECTS TO ELIMINATE ANY FOLLOW ON EFFECTS THAT MAY RESULT. ANY CHANGES OR MODIFICATIONS ON SITE THAT DIFFER FROM WHAT IS DRAWN OR SPECIFIED ARE TO BE DISCUSSED WITH, AND WRITTENS AUTHORISATION ISSUED BY STUFKENS+CHAMBERS ARCHITECTS BEFORE UNDERTAKING ANY CHANGE(S).

THE DRAWINGS ARE NOT TO BE SCALED DUE TO DISCREPANCIES IN PHOTOCOPYING. IF ADDITIONAL DIMENSIONS ARE REQUIRED CONSULT STUFKENS+CHAMBERS ARCHITECTS.

KEY:

EXISTING TIMBER FRAMED WALLS.

(SM) APPROVED BATTERY OPERATED SMOKE DETECTOR. MUST BE LOCATED WITHIN 3m OF ALL SLEEPING AREAS.

PLEASE NOTE: DAMAGED LININGS AND TRIMS THROUGHOUT THE HOUSE WILL NEED TO BE REPAIRED. WHERE DAMAGE IS SIGNIFICANT, THE LININGS WILL NEED TO BE REPLACED. ANY DAMAGED WALL BRACING ELEMENTS SHOULD BE REPLACED WITH ELEMENTS THAT MATCH THE BRACING CAPACITY OF THE REPLACED ELEMENT. MAKE GOOD ANY DAMAGED FRAMING CONNECTIONS.

**LINING REPAIR PROCEDURE
(PLASTERBOARD LINING)**

- MINOR CRACKING AT SHEET JOINTS (<0.5 MM) (NOTE A)
NO SIGNS OF MOVEMENT AT SKIRTING BOARD.
REPAIR: SCRAPING OUT OLD STOPPING (TAKING CARE NOT TO DAMAGE PAPER FACING), RESTOPPING AND REPAINTING CHECK FOR 'DRUMMINNESS' OF SHEETS (NOTE C).
BRACING: REVIEW OF BRACING ELEMENT IS NOT REQUIRED.
- MODERATE CRACKING AT SHEET JOINTS (>0.5 MM) (NOTE B)
MINOR MOVEMENT OF PERIMETER SHEET FIXINGS OR MOVEMENT OF SHEETS EVIDENT AT SKIRTING BOARD.
REPAIR: REFIXING OF SHEETS ADJACENT TO EXISTING FIXINGS AND RESTOPPING OF JOINTS. WHEN SHEET EDGES ARE TOO DAMAGED TO ALLOW REFIXING, REPLACING AFFECTED SHEET(S) WITH COMPARABLE COMPONENT OR ASSEMBLY (EG. STANDARD OR ENHANCED PLASTERBOARD (AS APPLICABLE)), FIXED AS A BRACING ELEMENT (NOTE D). CHECK AND MAKE GOOD ANY DAMAGED FRAMING CONNECTIONS WHERE REASONABLY PRACTICABLE CHECK FOR 'DRUMMINNESS' OF SHEETS (NOTE C).
BRACING: REVIEW OF BRACING ELEMENT IS NOT REQUIRED.
- CRACKING DAMAGE WITHIN SHEETS. DAMAGE MAY INCLUDE:
(A) SIGNIFICANT LINING SEPARATION FROM WALL FRAMING
(B) DAMAGE TO TIMBER-FRAMING CONNECTIONS
(C) WALLS OUT OF PLUMB IN EITHER DIRECTION MORE THAN 10 MM PER STOREY, OR
(D) BOTTOM PLATES HAVE SHIFTED FROM THEIR ORIGINAL POSITION.
REPAIR: IF THE DIAGONAL CRACKS AT THE CORNERS OF OPENINGS ARE <50 MM LONG AND WHERE WALL-TO-CEILING OR WALL-TO-WALL JUNCTIONS SHOW STRESS BY VISIBLE CRACKING, FASTENER MOVEMENT, WALLPAPER CREASING OR SIMILAR, REFIXING OF THE SHEETS ADJACENT TO EXISTING FIXINGS AND RESTOPPING OF JOINTS IF THE DIAGONAL CRACKS AT THE CORNERS OF OPENINGS ARE >50 MM LONG AND WHERE WALL-TO-CEILING OR WALL-TO-WALL JUNCTIONS SHOW STRESS BY VISIBLE CRACKING, FASTENER MOVEMENT, WALLPAPER CREASING OR SIMILAR, REPLACE AFFECTED SHEET(S) WITH A COMPARABLE COMPONENT OR ASSEMBLY (EG. STANDARD OR ENHANCED PLASTERBOARD AS APPLICABLE), FIXED AS A BRACING ELEMENT (NOTE F). CHECK AND MAKE GOOD ANY DAMAGED FRAMING CONNECTIONS WHERE REASONABLY PRACTICABLE. CHECK FOR 'DRUMMINNESS' OF SHEETS (NOTE C).
BRACING: A NEW BRACING ELEMENT AT LEAST MATCHES THE BRACING CAPACITY PROVIDED BY THE REPLACED ELEMENT (NOTE E)

NOTES :

- THE CRACKING IS GENERALLY CONFINED TO THE TOP AND/OR BOTTOM CORNERS OF OPENINGS. EXTENDING VERTICALLY FROM THE CORNER ALONG THE SHEET JOINT.
- CRACKING WILL BE EVIDENT AS IN (1) ABOVE, BUT THERE IS ALSO LIKELY TO BE CRACKING OF THE JOINT AT WALL JUNCTIONS
- THE WALL-LINING GLUE FIXINGS MAY HAVE DETACHED FROM THE STUDS INTERMEDIATE BETWEEN THE SHEET EDGES OR SCREW FIXINGS MAY HAVE BEEN PARTIALLY PULLED THROUGH THE SHEET AT STUDS INTERMEDIATE BETWEEN SHEET EDGES. THIS MAY BE CHECKED BY STRIKING THE WALL LININGS GENTLY WITH THE PALM OF A HAND TO DETECT 'DRUMMINNESS' DUE TO THE DISCONNECTION OF THE GLUE FIXING OR LOSS OF SCREW FIXING. RE-FIXING WITH NAILS OR SCREWS AT 200 MM CENTRES, RESTOPPING AND REPAINTING WILL BE REQUIRED. NOTE THAT THE GLUE FIXINGS WERE NOT NECESSARY FOR THE PROVISION OF BRACING RESISTANCE WHEN THE SHEETS WERE FIRST INSTALLED.
- CHECK BRACING FIXING PATTERNS FOR PROPRIETARY PLASTERBOARD BRACING SYSTEMS IN MANUFACTURERS' LITERATURE. BRACING ELEMENTS SHOULD HAVE FIXING CRS OF 150MM OR LESS.
- AN ESTIMATION OF THE CAPACITY OF THE REPLACED ELEMENT MAY BE DETERMINED FROM THE FIXING PATTERN AND MATERIAL USED OR FROM A BRACING PLAN, IF AVAILABLE.

Christchurch City Council
Exemption From Building Consent
See Letter Dated 25/03/2014
DAE 35097694
Pläberg

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT



BAUEN
PROPOSED EQ REPAIR
AT
4a RAMAHANA ROAD,
CHRISTCHURCH,

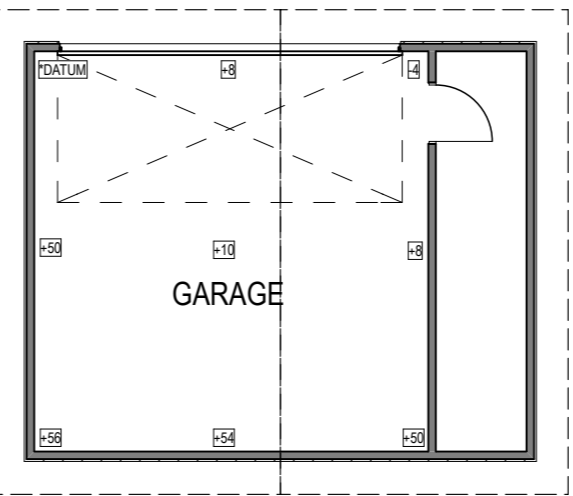
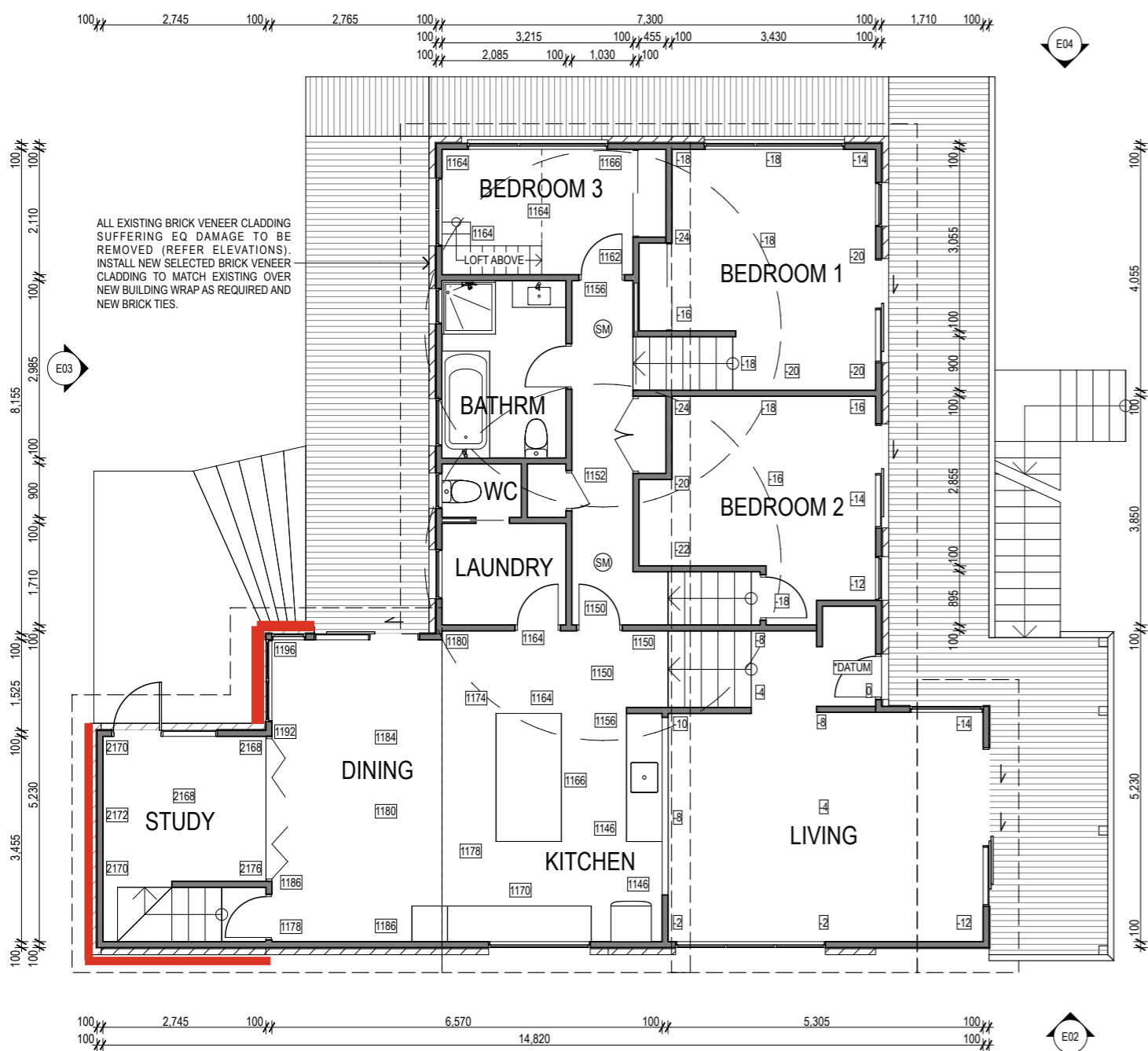
REVISIONS
- 19.02.14 ISSUE FOR BC EXEMPTION

CONSULTANTS

NOTES

PROJECT #	1387
REVISION	-
DRAWING SCALE	1:100@A3
PROJECT DIRECTOR	AW
TECHNICIAN	AW

FLOOR PLAN



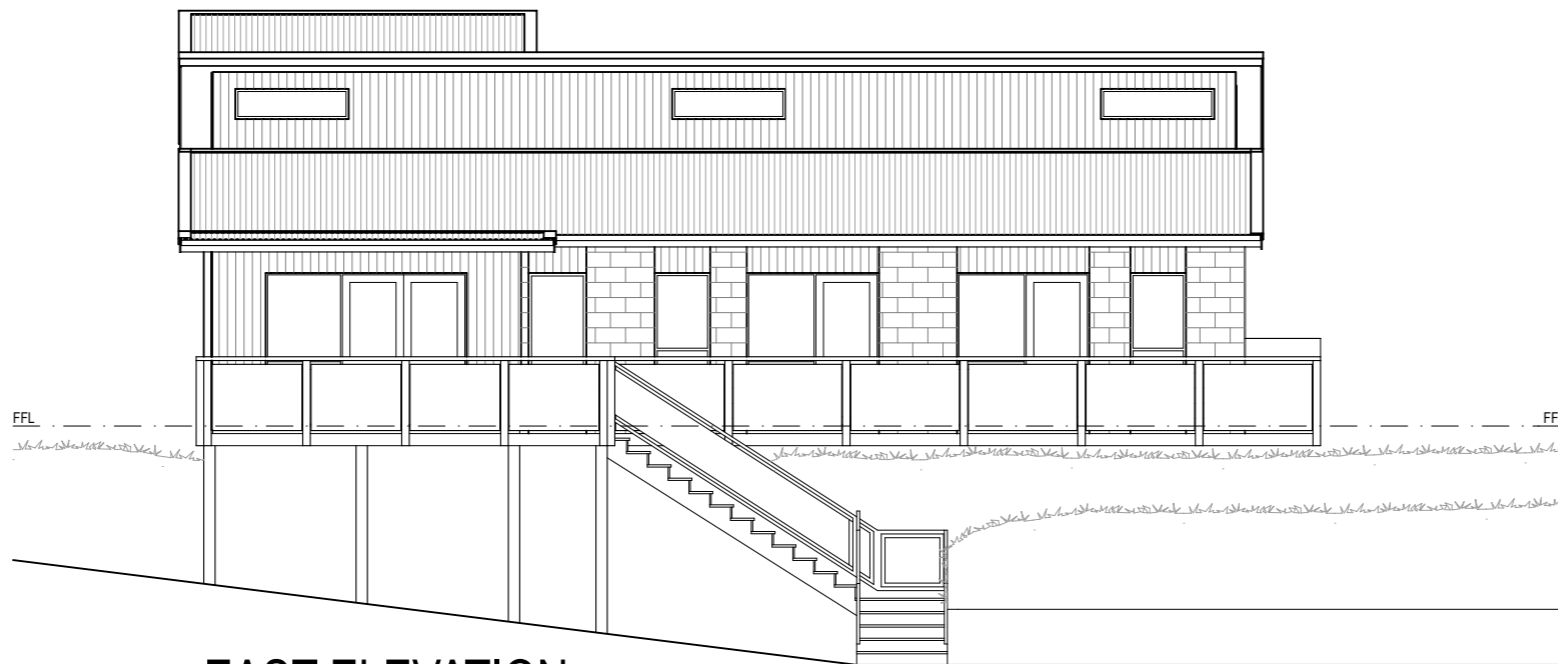
FLOOR PLAN

SCALE @A3: 1:100

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Christchurch City Council
Exemption from Building Consent
See Letter Date 25/03/2014
BAE35007694
packerg

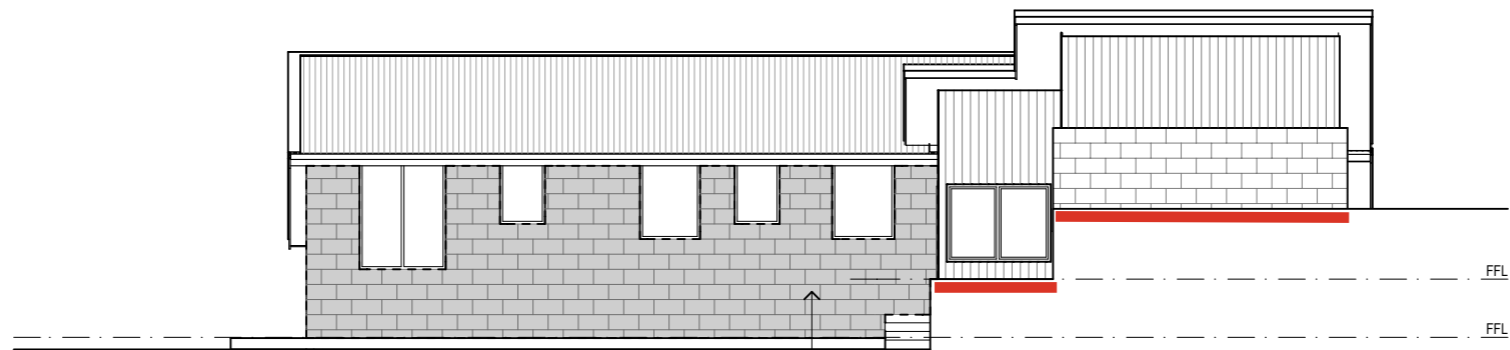
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EAST ELEVATION

E01
SCALE @A3: 1:100

BUILDING CONSENT



WEST ELEVATION

E03
SCALE @A3: 1:100

EXISTING 90 SERIES BLOCK VENEER CLADDING SUFFERING EQ DAMAGE TO BE REMOVED (CHECK AND CONFIRM ON SITE). INSTALL NEW 90 SERIES BLOCK VENEER CLADDING TO MATCH EXISTING OVER NEW BUILDING WRAP AS REQUIRED AND NEW BRICK TIES. 3 COAT PAINT FINISH.



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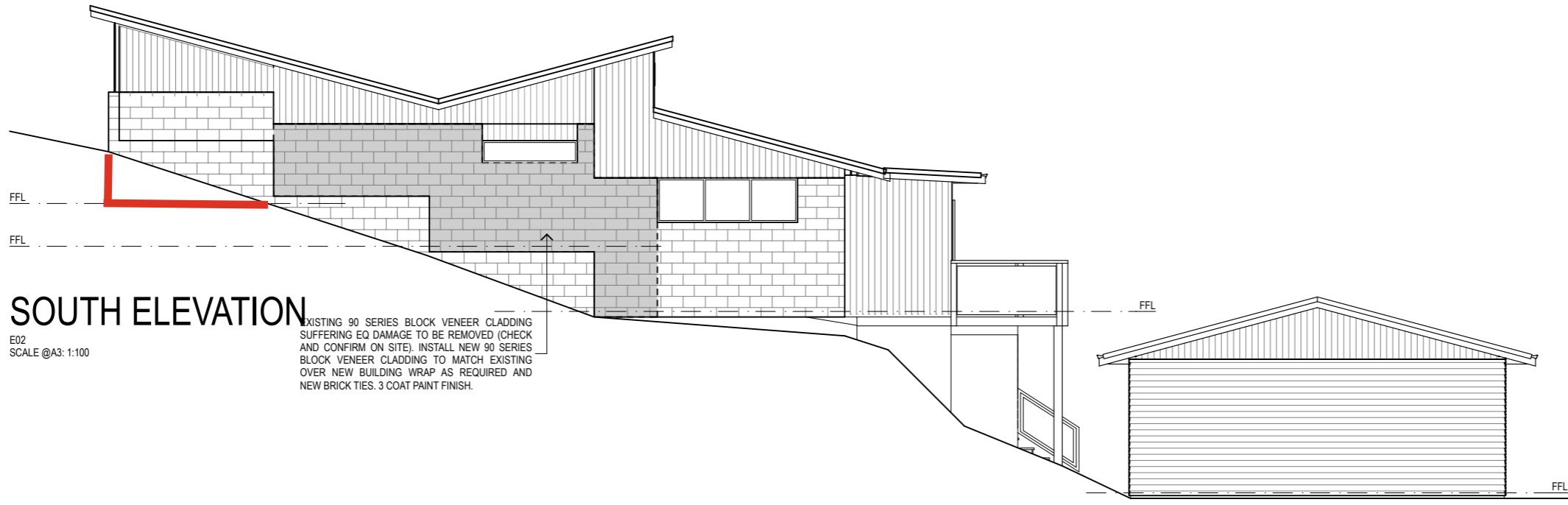
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ELEVATIONS

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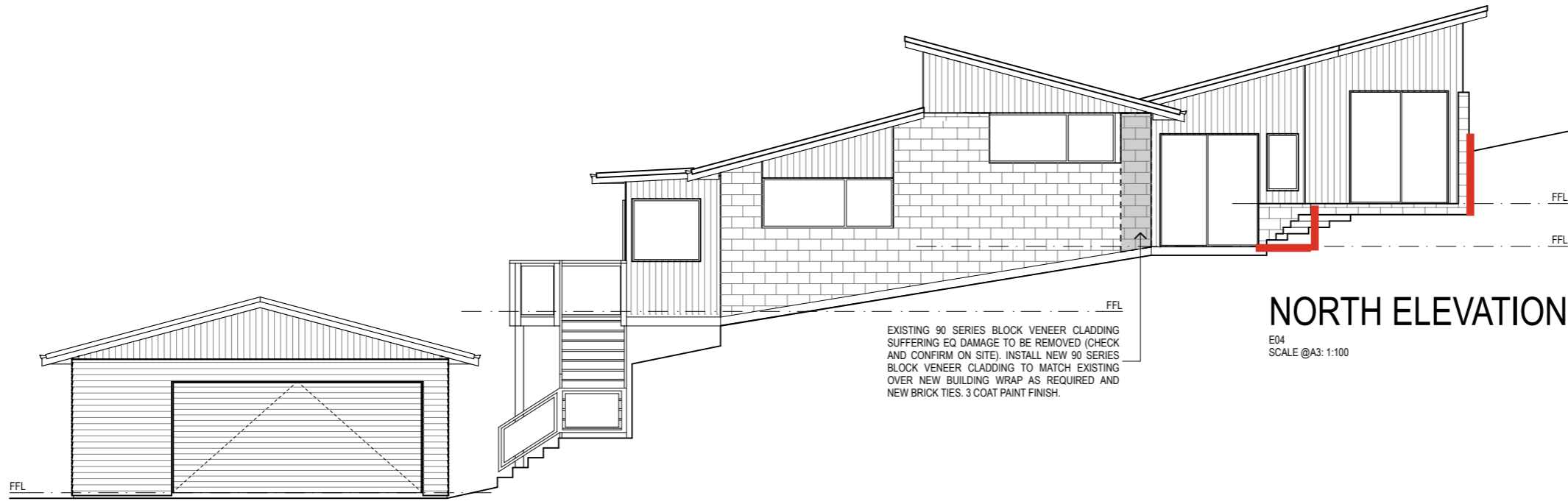


SOUTH ELEVATION

E02
SCALE @A3: 1:100

EXISTING 90 SERIES BLOCK VENEER CLADDING SUFFERING EQ DAMAGE TO BE REMOVED (CHECK AND CONFIRM ON SITE). INSTALL NEW 90 SERIES BLOCK VENEER CLADDING TO MATCH EXISTING OVER NEW BUILDING WRAP AS REQUIRED AND NEW BRICK TIES. 3 COAT PAINT FINISH.

BUILDING CONSENT



NORTH ELEVATION

E04
SCALE @A3: 1:100

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BAUEN
Design Management

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PROPOSED EQ REPAIR
AT
4a RAMAHANA ROAD,
CHRISTCHURCH,

REVISIONS
- 19.02.14 ISSUE FOR BC EXEMPTION

CONSULTANTS

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DRAWING SCALE	1:100@A3
PROJECT DIRECTOR	AW
TECHNICIAN	AW

ELEVATIONS